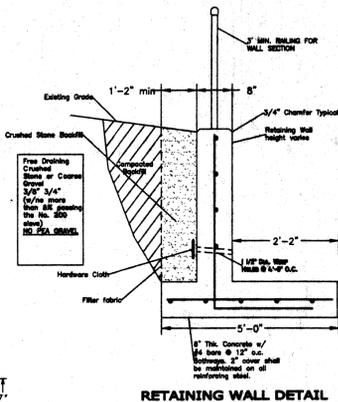
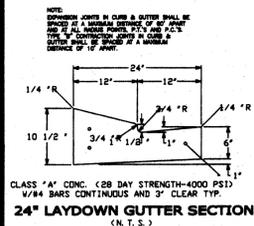


SCALE : 1" = 40'



RETAINING WALL DETAIL

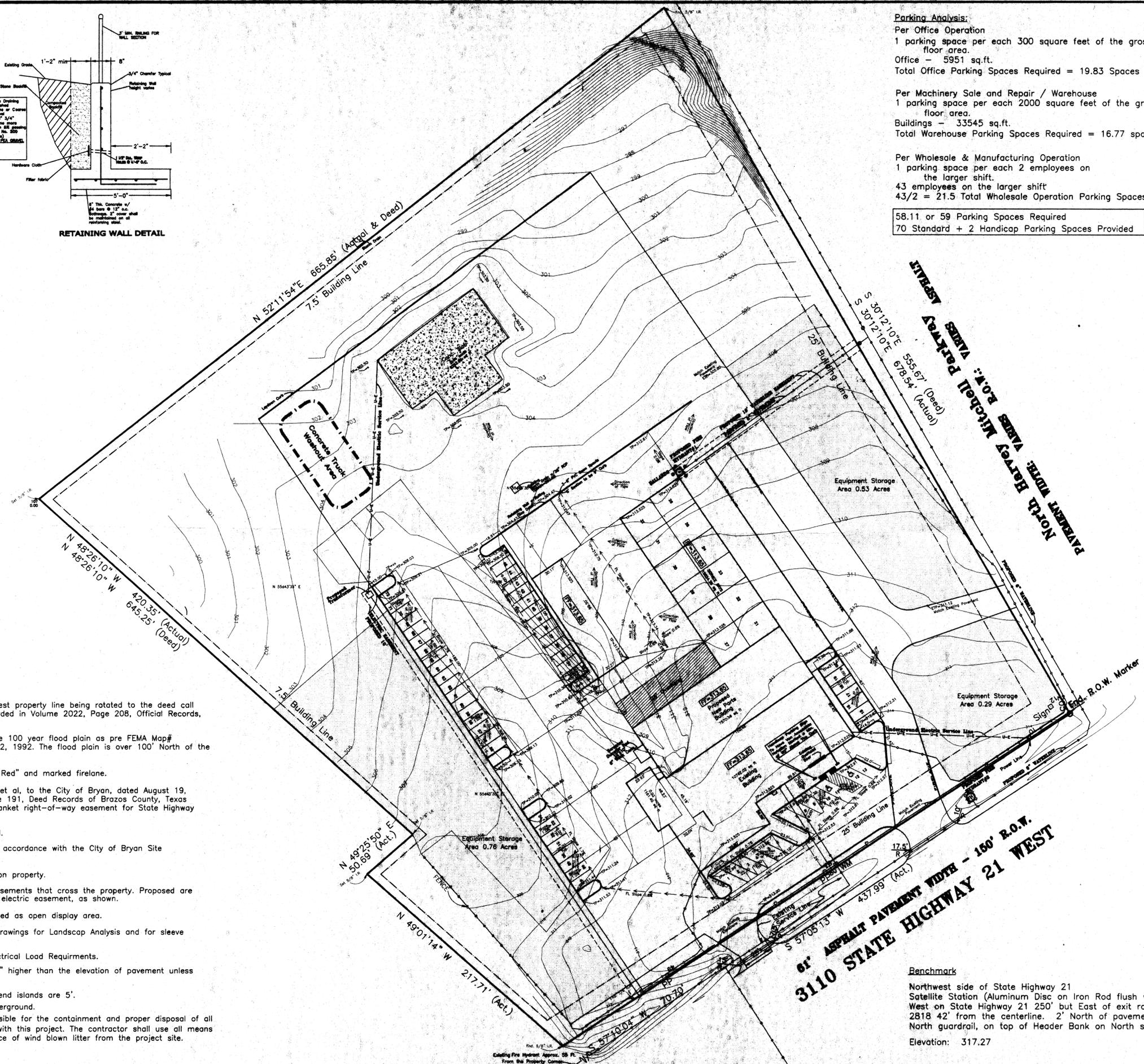
TYPICAL CURB & GUTTER SECTION (N.T.S.)



24" LAYDOWN GUTTER SECTION (N.T.S.)

General Notes:

- *1. Basis of Bearing is the Northwest property line being rotated to the deed call S 30°12'10" E - 55.567', as recorded in Volume 2022, Page 208, Official Records, Brazos County, Texas.
2. This Property does not lie in the 100 year flood plain as pre FEMA Map# 4801C0129 C, Effective Date: July 2, 1992. The flood plain is over 100' North of the North Boundary Property line.
3. Firelane to be painted "Firelane Red" and marked firelane.
4. An easement from Lee Labello, et al, to the City of Bryan, dated August 19, 1937, recorded in Volume 98, page 191, Deed Records of Brazos County, Texas affects this property. This is a blanket right-of-way easement for State Highway 21 and F.M. 2818.
5. This property is zoned: Industrial.
6. All building setbacks shall be in accordance with the City of Bryan Site Development Review Ordinance.
7. 27" Transmission Line is NOT on property.
8. There are no water or sewer easements that cross the property. Proposed are a 10' water easement and an 10' electric easement, as shown.
9. Approximately 1.58 Acres are used as open display area.
10. Refer to Landscap Architect Drawings for Landscap Analysis and for sleeve or bore locations.
11. Refer to MEP Drawings for Electrical Load Requirements.
12. Top of curb elevation will be 6" higher than the elevation of pavement unless otherwise stated.
13. All face of curb radius within end islands are 5'.
14. All utility services shall be underground.
15. The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The contractor shall use all means necessary to prevent the occurrence of wind blown litter from the project site.



Parking Analysis:

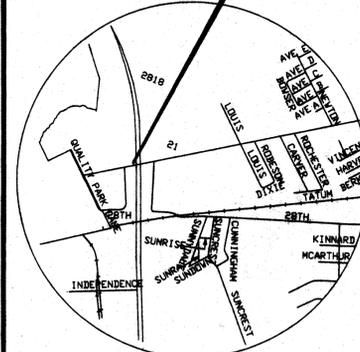
Per Office Operation
 1 parking space per each 300 square feet of the gross floor area.
 Office - 5951 sq.ft.
 Total Office Parking Spaces Required = 19.83 Spaces

Per Machinery Sale and Repair / Warehouse
 1 parking space per each 2000 square feet of the gross floor area.
 Buildings - 33545 sq.ft.
 Total Warehouse Parking Spaces Required = 16.77 spaces

Per Wholesale & Manufacturing Operation
 1 parking space per each 2 employees on the larger shift.
 43 employees on the larger shift
 43/2 = 21.5 Total Wholesale Operation Parking Spaces Required

58.11 or 59 Parking Spaces Required
 70 Standard + 2 Handicap Parking Spaces Provided

Project Location



VICINITY MAP - N.T.S. -

CERTIFICATE OF SURVEYOR

I, Donald D. Garrett, Registered Professional Land Surveyor No.2972, of the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground and that the metes and bounds describing said subdivision will describe a closed geometric form.

Donald D. Garrett, R.P.L.S. No. 2972

CERTIFICATE OF THE ENGINEER

I, Donald D. Garrett, Registered Professional Engineer No. 22790, in the State of Texas, hereby certify that proper engineering consideration has been given to this plat.

Donald D. Garrett, P.E. No. 22790

SITE and GRADING PLAN of PRATER SUBDIVISION LOT 1 BLOCK 1 8.66 ACRES

Vol. 6131 Pg. 099

0.47 Acres

Vol. 2548 Pg. 313

1.00 Acres

STEPHEN F. AUSTIN, NO.9, A-62

Bryan,

Brazos County, Texas

SCALE : 1"=40' JAN, 2006

OWNER/DEVELOPER: Development & Engineering Services

Coufal-Prater Equipment
 3110 Highway 21 West
 Bryan, TX 77803-1241
 (979) 822-7684



Benchmark

Northwest side of State Highway 21
 Satellite Station (Aluminum Disc on Iron Rod flush with ground)
 West on State Highway 21 250' but East of exit ramp of 2818 42' from the centerline. 2' North of pavement, along North guardrail, on top of Header Bank on North shoulder.
 Elevation: 317.27

SP05-49 #2

TREE MULCH RING SYMBOL

This symbol denotes a 3' diameter mulch ring around all canopy trees which appear in lawn areas.

NOTE:

Parking screening shrubs - LIGUSTRUM must be at least 3 feet in height at time of installation.

NOTE:

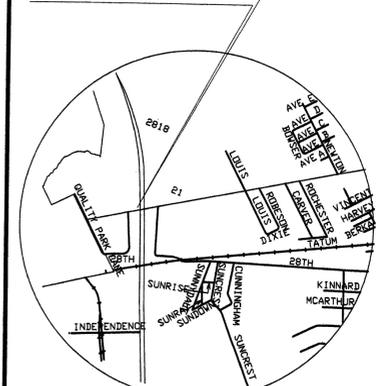
100% coverage of groundcover, decorative paving, decorative rock, or perennial grass is required in parking lot islands, swales and drainage areas, the parking lot setback, rights-of-way, and adjacent property disturbed during construction.

Key

- Canopy Trees
- Bald Cypress
- Live Oak
- Lace Bark Elm



Project Location



VICINITY MAP
- N.T.S. -

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LANDSCAPING PLAN

PRATER SUBDIVISION
LOT 1 BLOCK 1
8.66 ACRES

Vol. 6131 Pg. 099

0.47 Acres

Vol. 2548 Pg. 313

1.00 Acres

STEPHEN F. AUSTIN, NO.9, A-62
Bryan,
Brazos County, Texas

SCALE : 1"=40' November, 2005

OWNER/DEVELOPER:

Receive
Coulaf-Prater Equipment, JAN 25 2006
3110 Highway 21 West
Bryan, TX 77803-1241
(979) 822-7684



Landscape Calculations

Required Landscaping

POINTS CALCULATIONS
BUILDING SITE - 377,227.81 Sq. Ft. x 5% = 18,861 Sq. Ft.
TREES REQUIRED - 18,861 Sq. Ft. / 2 = 9,431 Sq. Ft. Required
CANOPY TREES REQUIRED - 9,431 Sq. Ft. / 2 = 4,716 Sq. Ft. Required
NO EXISTING TREES ON SITE
BUFFERYARD REQUIREMENTS (None)

Proposed Landscaping

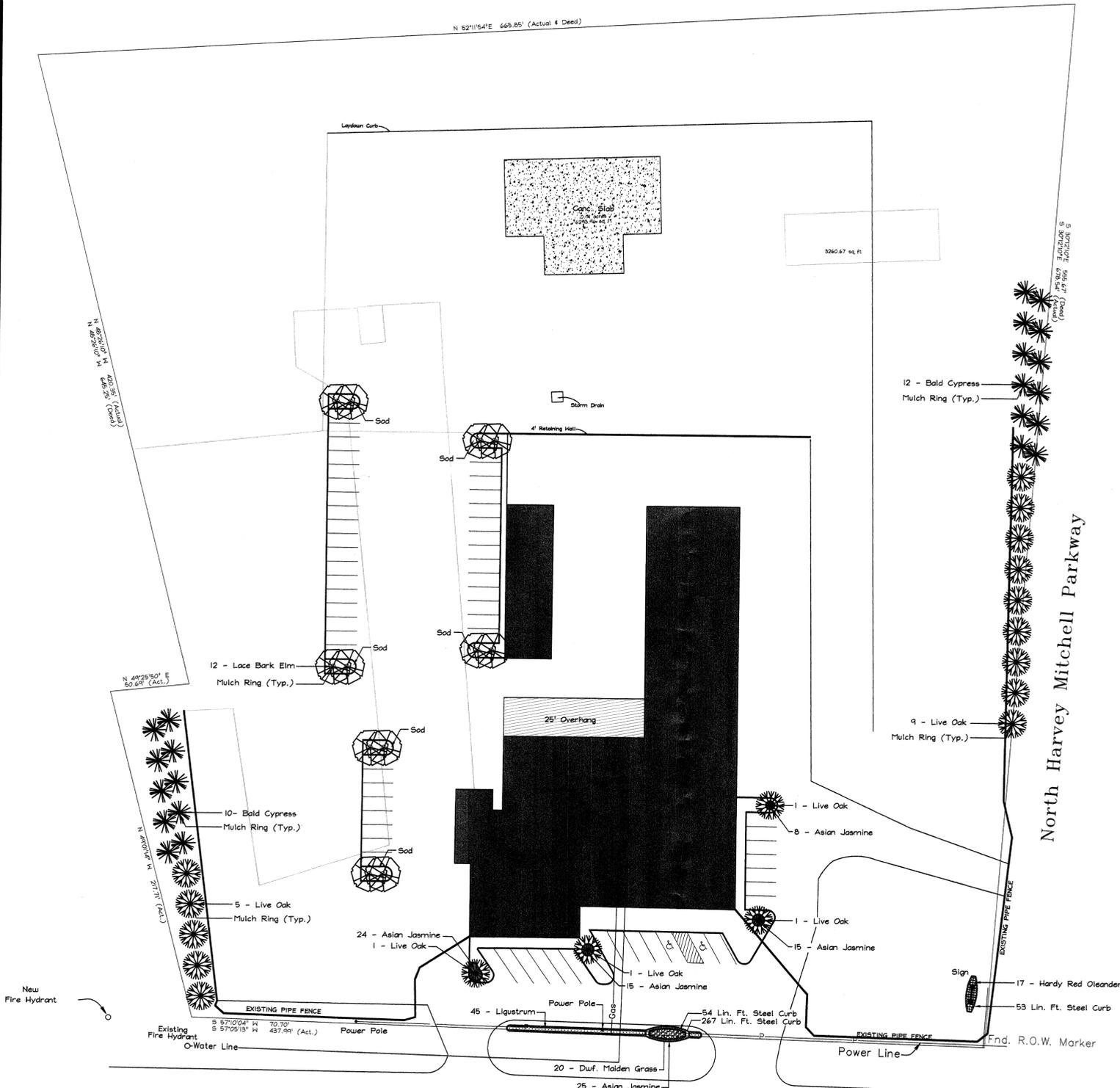
TREES
NEWLY PLANTED CANOPY TREES (container)
52 @ 350 Sq. Ft. (3 1/2 Cal.) = 18,200 Sq. Ft.
SHRUBS
LESS THAN 2 GALLONS
20 @ 5 Sq. Ft. = 100 Sq. Ft.
2 GALLONS TO 15 GALLONS
62 @ 10 Sq. Ft. = 620 Sq. Ft.
GRASSES AND GROUNDCOVERS
SOLID SOD
1,026 Sq. Ft. / 100 X 10 = 100 Sq. Ft.
GROUNDCOVER
147 Sq. Ft. / 100 X 10 = 10 Sq. Ft.
TOTAL PROPOSED LANDSCAPING = 19,030 Sq. Ft.

General Notes

01. All Plant Material shall be pruned / shaped as per Landscape Architect after installation to remove any broken or damaged branches and to give uniformity of shape.
02. All Plant Material must be approved by the Landscape Architect before installation.
03. Verify all quantities before installation.
04. Broken pieces of sod (smaller than 8" square) are not acceptable.
05. Landscape Contractor is responsible for clearing any dirt or mud from public roadway. Landscape Contractor is also responsible for keeping the site clean during construction and plant installation.
06. All proposed "New Canopy Trees" shall be containerized.
07. An automatic irrigation system will cover the designated landscaped areas. All other areas shall be accessible by hose bibb.
08. Bedding Soil (Flowerbeds):
All flowerbed areas - mound soil up cresting at 8" above top of finish grade or top of adjacent concrete.
Soil shall be composed of the following mixture:
60% Sandy Loam Topsoil, 20% Black Humus (Black Velvet), 10% Mushroom Compost and 10% Red Shredded Mulch.
09. All flowerbeds shall be top dressed with a 3" layer of Black Humus, Black Velvet or approved equal.
10. Install 3" diameter mulch rings (3" thick) around all trees which appear in lawn areas.
11. All plant material is to be guaranteed for 1 full year.
12. Erosion control is required as needed and clean-up is included.
13. See Site Plan for topographic information, existing and proposed utilities, easements, adjacent land uses, existing development and roadways.

Plant List

| Key | Quantity | Size | Common Name (Botanical Name) | Sq. Ft. Value | Value | Comments |
|-----------------------------------|--------------|---------------|--|-----------------------|-------|---|
| | 12 | 3 1/2" Cal. | Lace Bark Elm (Ulmus parvifolia) | 350 | 4,200 | 10/12" Ht., 3 1/2" Sp., Matched |
| | 22 | 3 1/2" Cal. | Bald Cypress (Taxodium distichum) | 350 | 7,700 | 6'-0" Clear Trunk Min., Container, 10/12" Ht., 3 1/2" Sp., Matched |
| | 18 | 3 1/2" Cal. | Live Oak (Quercus virginia) | 350 | 6,300 | 6'-0" Clear Trunk Min., Container, 10/12" Ht., 3 1/2" Sp., Matched |
| | 17 | 5 Gal. | Oleander (Nerium oleander 'Hardy Red') | 10 | 170 | 36" Ht x 18" W Min., Rooted, Full |
| | 45 | 5 Gal. | Wax Leaf Ligustrum (Ligustrum japonicum) | 10 | 450 | 36" Height Min., Rooted, Full |
| | 20 | 1 Gal. | Duf. Maiden Grass (Miscanthus sinensis 'Yaku Jimba') | 5 | 100 | 36" Height Min., Rooted, Full |
| | 87 | (147 Sq. Ft.) | Asian Jasmine (Trachelospermum asiaticum) | 10/100 SF | 10 | Pot Full, 3 - 12" Runners, min. |
| | Field Verify | Sq. Ft. | Hybrid Bermuda (Cynodon dactylon 419) | 10/100 SF | 100 | Solid Sod, Weed Free (In end marked islands and as needed to repair existing) |
| TOTAL PROPOSED LANDSCAPING | | | | 19,030 Sq. Ft. | | |



01 Landscape Plan
Ref: None Scale: 1"=40'
Note: Verify all dimensions before construction.

3110 STATE HIGHWAY 21 WEST

SP05-49 #2

Irrigation Symbol Key

- III 1 1/2" Tap
- ☒ Irrigation Controller (07/L3)
- VBA Vacuum Breaker Assembly (02/L3)
- HB Hose Bibb
- M Water Meter
- ⊕ Electric Valve (03/L3)
- Toro Irrigation Head
- PVC SCH 40 Irrigation Mainline
- PVC Irrigation Pipe (Size Varies)
- ==== 4" SCH 40 Sleeve or Bore

Zone Specifications

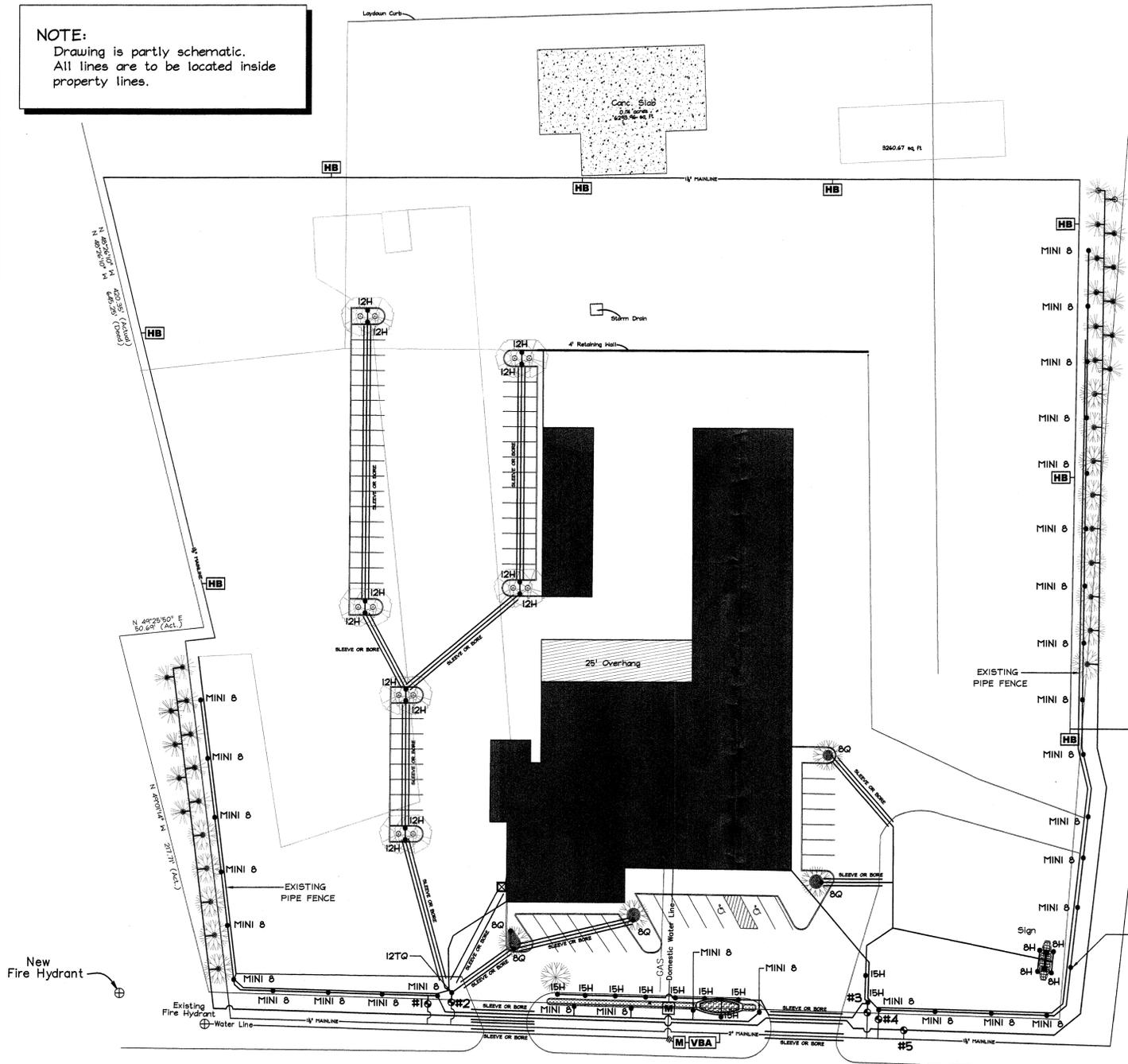
| Valve | Volume | Max. |
|------------|-----------|-------------|
| (SPRAY) #1 | 47.60 GPM | (61.20 GPM) |
| (SPRAY) #2 | 13.95 GPM | |
| (SPRAY) #3 | 19.00 GPM | |
| (SPRAY) #4 | 61.20 GPM | |
| (SPRAY) #5 | 18.00 GPM | (31.83 GPM) |

Water output not to exceed 75 GPM.

Irrigation Specifications

- Materials**
- All main lines are to be schedule 40.
 - All lateral lines are to be class 200.
 - All fittings are to be schedule 40.
 - All wiring is to be 14 gauge.
 - All sleeves to be Schedule 40.
 - All electric valves: (Refer to 03)
 - Controller is to be Toro Custom Command (Metal Case).
 - All valve boxes (concrete and plastic) shall remain flush with finish grade for a period of one year or will be raised/straightened at no cost to the owner.
 - All irrigation components shall carry an unconditional one year guarantee (materials and labor).
 - Installation of all irrigation components shall be approved by Landscape Architect, Owner or Owners' Agent before pipes are covered.
 - All irrigation ditches shall be backfilled and tamped.

NOTE:
Drawing is partly schematic.
All lines are to be located inside property lines.



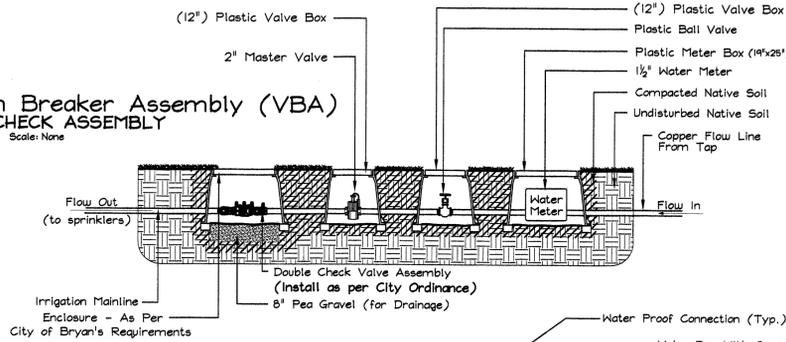
01 Irrigation Plan

Ref: None Scale: 1"=40'
Note: Verify all dimensions before construction.

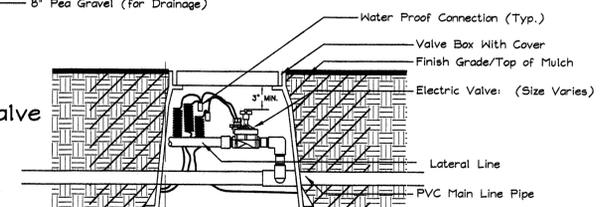


3110 STATE HIGHWAY 21 WEST

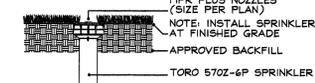
02 Vacuum Breaker Assembly (VBA) DOUBLECHECK ASSEMBLY



03 Electric Irrigation Valve RAINBIRD PEB SERIES



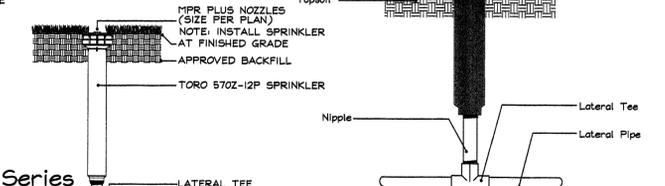
TURF HEAD 6" Pop-Up



04 Toro 570 Series Spray Sprinkler

05 Toro 570 Series Spray Sprinkler

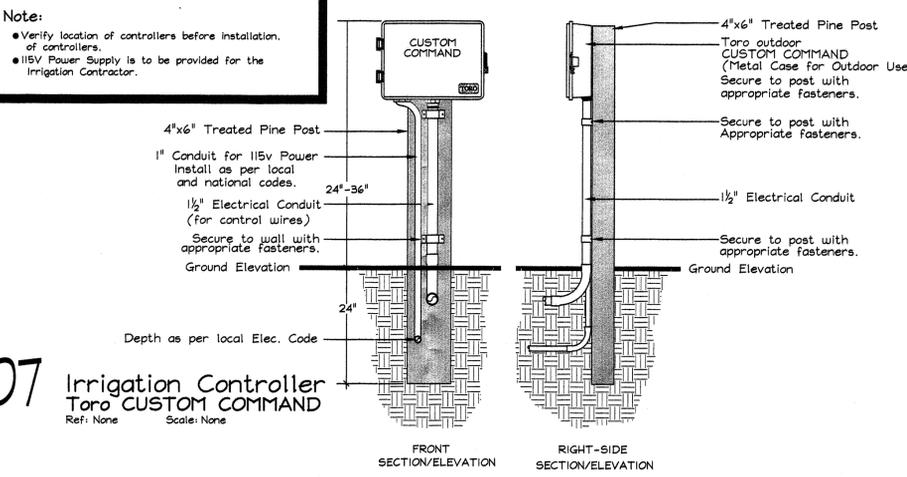
FLOWERBED HEAD 12" Pop-Up



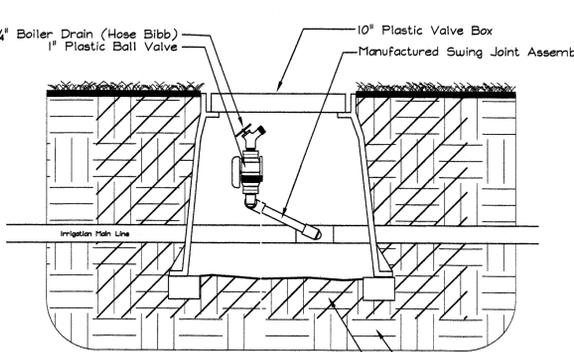
06 Toro Mini 8 Series ROTARY SPRINKLER

Note:
• Verify location of controllers before installation of controllers.
• 115v Power Supply is to be provided for the irrigation contractor.

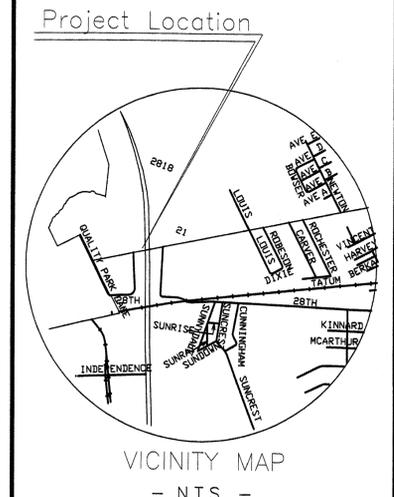
07 Irrigation Controller Toro CUSTOM COMMAND



Robert Ruth associates
3131 Briarcrest suite 112
bryan texas 77802
979.776.9692



08 Hose Bibb on Swing Joint



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SCALE : 1"=40' November, 2005

OWNER/DEVELOPER:
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Bryan, TX 77803-1241
(979) 822-7684

GARRETT ENGINEERING
Consulting Engineering & Land Surveying
4444 Carter Creek Parkway Suite 108
Bryan, Texas 77808
Telephone : (979) 846 - 3088
Fax : (979) 846 - 3084

SP05-49 #2